

HILLS OF MINNEOLA

design guidelines



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OVERVIEW & GOALS

Intent of Design Guidelines

This set of Design Guidelines has been developed for the Hills of Minneola in order to ensure a harmonious use of materials throughout the development. Unique character is important for each individual development project, however, certain signature elements should be incorporated to maintain a cohesive sense of development. The success of the Hills of Minneola depends on the quality of development in each parcel. It is the responsibility of the individual builders and their design teams to familiarize themselves with this document and develop designs and solutions that embrace and enhance the vision for the Hills of Minneola.

These Design Guidelines, with the plans and features described and depicted herein are based upon current development plans, which are subject to change without notice. Along with the PUD Development Standards, these guidelines shall serve as the minimum standards of review for the Hills of Minneola Architectural Review Committee (ARC). These materials are intended to provide guidance regarding the architecture, landscape and site design objectives and criteria that are required to be incorporated into the design of the improvements for the Hills of Minneola. These guidelines are not intended to constitute a complete list of all criteria that must be satisfied in order for proposed designs to be acceptable to the ARC or the City of Minneola. Nor will compliance with all of the requirements and criteria set forth in these materials ensure the approval of any particular designs by the ARC or the City. The City also has ordinances that regulate architectural character, landscape and signage.

The ARC reserves the right to impose additional or different design requirements on any improvements to be constructed within the project. The materials and the features and amenities described herein are subject to change without notice. The Design Guidelines document governs the development of the residential and commercial areas. Future standards will be developed for the Town Center and light industrial areas.

It shall be the obligation of any person or entity using these guidelines to make an independent evaluation of the adequacy of any design or design elements contained herein and ascertain their suitability for such person's or entity's intended use. In the event legal requirements impose different requirements than those set forth herein, such legal requirements shall govern. No guarantee is made that the features, amenities and facilities depicted by artists' renderings and photos or otherwise described herein will be built, or, if built, will be the same type, size, or nature as depicted or described. All artists' renderings and photos are for demonstration and illustrative purposes only.

OVERVIEW & GOALS

Context



Regional Context

The Hills of Minneola is a master planned community that consists of approximately 1,833 acres and a variety of uses. The project straddles the Florida Turnpike and was the impetus for building the newly opened interchange for the Hancock Road extension. The project was initially submitted as a Development of Regional Impact and the original Planned Unit Development ordinance was approved in 2006. An amended PUD agreement was passed in 2015. The property is under the jurisdiction of the City of Minneola.

The Hills of Minneola will offer a variety of residential unit types in a market responsive range of prices, providing for a diversity of ownership and rental opportunities. An employment center will serve the community and the region and will include office, commercial and light industrial uses. Supporting the community will be civic and public uses such as medical facilities, public safety facilities, utilities, schools, open spaces, parks and recreation uses. Tying the community together will be a system of pedestrian and bicycle paths and trails. The Town Center area will serve as a focal point for the community and the surrounding area with a mix of uses in a walkable environment. The Town Center will also be developed to accommodate public events. The plans for the Hills of Minneola call for incremental development in stages with multiple areas under construction at the same time throughout the course of the development. The Design Guidelines illustrated in this document will likely be updated in the future to stay relevant to any new architectural trends or building techniques.

MASTER PLAN & COMMUNITY VISION

Cornerstones

Vision Statement: The Hills of Minneola will be a healthy, active and appealing mixed-use community where families are raised; children can walk to school; adults can live near their jobs; and all segments of the community can live, work, shop and play together.

CORNERSTONES

Connected: Community, City, East Lake County and the Region

The Hills of Minneola connects east Lake County in multiple ways. Hancock Road serves as a central spine with the interchange that crosses the Turnpike. This north/south artery is critical for vehicles, bikes and pedestrians with its adjacent Hancock Trail. The road and trail system will connect all the way to the top of Sugarloaf Mountain on the north down to the National Training Center on the south and to the South Lake Trail system. Future connections to adjacent communities north and south of the Turnpike are identified in the master plan. The Hills of Minneola will be an attractive destination for residents and visitors alike and will be the main hub for connecting all of eastern Lake County from South Lake to the Golden Triangle of the Mount Dora, Eustis and Tavares area.

The Hills of Minneola is in a very strategic position to take advantage of this connectivity and enhance the experience for the new residents by expanding options for biking, walking and other training activities. It is intended that the new development also provides for two pedestrian trail connections under the Turnpike. One leads directly into the Town Center. Additional 8' and 10' trail sidewalks will lead into the development from the Hancock Trail and to the regional park and the amenity site. Each neighborhood

will have ample connections to the regional trail system, internal parks and an internal trail system.

Open Space and Recreation: Natural, Outdoors, Adventure

South Lake County has long been known as a training ground for triathlons and other athletic enthusiasts. The area has been designated a "Runner Friendly Community" and is considered the "World Triathlon Destination" that is anchored by the National Training Center (NIT). The Hills of Minneola is directly connected to the NIT with the Hancock Trail. Located centrally within the community is a planned regional park that will serve the entire region with a variety of recreation facilities. In all, the Hills of Minneola has committed to provide a minimum of 366 acres of open space, parks and recreation amenities. This includes recreation areas for large and small parks, plazas, trails, water retention areas, wetlands and preserved areas. Each resident will be steps away from the open spaces and the wide variety of both active and passive recreation opportunities. Building on this network and highlighting the variety of experiences is a central cornerstone for the Hills of Minneola. Each open space opportunity will be carefully considered and designed to ensure that it complements the overall system and provides special experiences for the residents and visitors.

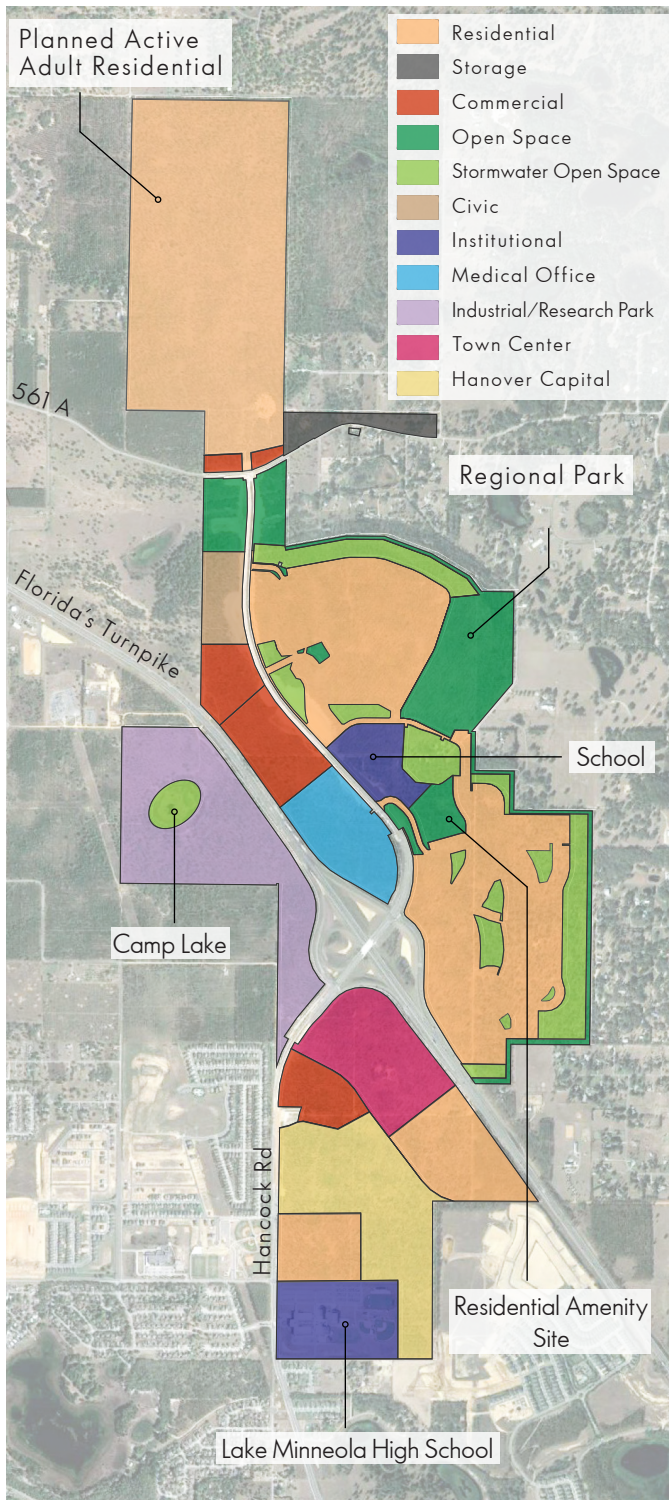
Health and Wellness: Healthy Lifestyle, Diverse Lifestyle, Family, Community

The Hills of Minneola will promote family health and wellness in all aspects of the development. The connected open space system encourages active lifestyles and will be enhanced through active programming in the parks and amenities. Opportunities to engage in high powered active training or low key and relaxed hiking are all part of the program in the Hills of Minneola. Access to health services is also part of the development with a hospital and medical offices slated for the center of the community within easy access of all residents.

Health and wellness continues to be a priority for new families across all generations. The Hills of Minneola is in a unique position with regard to timing and physical location. The geographic advantage of being in the center of east Lake County provides an opportunity to build on the areas active lifestyle reputation. As the medical industry continues to pivot toward direct services and digital data, the Hills of Minneola has an opportunity to build a symbiotic relationship with local health service providers that takes advantage of new medical services technology.

MASTER PLAN & COMMUNITY VISION

Types of Development



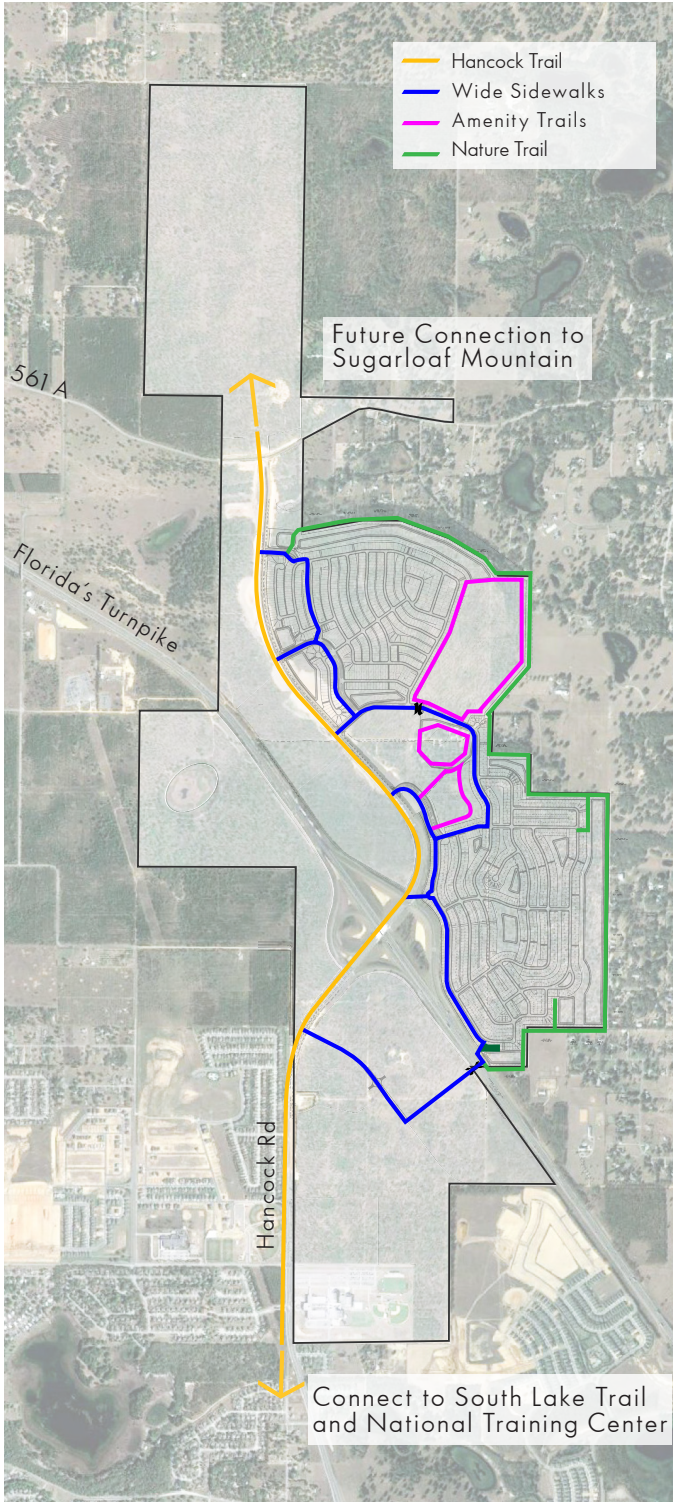
Single Family Residential: A variety of types and sizes of single family homes will be developed in multiple residential neighborhoods. Minimum and maximum development standards are included in the PUD Development Standards. Each home will have ample setbacks with appealing streetscapes.

General Commercial: The commercial areas will consist of a wide array of services with a planned mix of retail, office and civic uses. Each development will build on the unique character of the Hills of Minneola by providing an authentic architectural language across multiple building types.

Institutional: Two schools are located within the Hills of Minneola and Lake Minneola High School is already operational. The future K-8 school is located in the heart of the residential neighborhoods for easy access for families and students to walk/bike to school and take advantage of the adjacent regional park and open spaces.

Open Space and Stormwater: The open spaces and stormwater areas are governed by the PUD Development Standards and these Design Guidelines. As a cornerstone of the entire community, development of these areas will be carefully considered to ensure quality delivery of active, passive and conservation areas that meet the overall intent of the PUD.

Multi-Family Residential: An area planned for multi-family development south of the Turnpike will be directly adjacent to the Town Center and will provide an option for high quality rental housing. The area will also be connected to the main residential areas via the Hancock Trail and the Turnpike underpass.



Trail Plan

Medical Office: A specific site has been designated for medical facilities and office use and is currently being preliminarily planned for a medical facility and offices. The state of the art facility will adhere to the overall character established by these design guidelines.

Industrial / Research Park: The Industrial / Research Park area is located in an area that is the most isolated part of the overall development yet is an important component that will offer a variety of jobs and small scale industrial development. Future design guidelines for this area will be developed and will be highlighted by a lake as an integral feature of the development.

Town Center: The Town Center is envisioned to be the gathering place for all of the residents for social events. This is a unique opportunity for Minneola to create a vibrant mixed use, pedestrian friendly activity center that serves the entire community. The specifics for the layout plan, uses and development standards will be developed in the future to ensure its success.

MASTER PLAN & COMMUNITY VISION

PUD Entitlements

Per the current entitled PUD Development Standards, the Hills of Minneola project has the following development program

Residential	3,971 units
Retail/Service	890,000 SF GLA
Office	850,000 SF GLA
Industrial/Research	1,400,000 SF GLA
Institutional	496,163 SF

The PUD lists development standards that are augmented by these Design Guidelines. Elements listed in the PUD include:

- **Residential Densities**
- **Residential Standards**
- **Open Space, Parks & Trails**
- **Non-Residential and Mixed Use Standards**
- **Village Center**
- **Parking**
- **Signage**
- **Lighting**
- **Utilities**
- **Stormwater Management**
- **Maintenance**
- **Landscaping**
- **Water Conservation Measures**
- **Land Development Code**
- **Energy**

ARCHITECTURE

Commercial Design Criteria

For all commercial buildings, design with simplicity in mind, rather than complexity; design for the context of the rural nature of the Hills of Minneola.

Commercial buildings should be treated as civic/public buildings designed in one of two ways:

1. Designed to a residential scale following the residential design criteria; or
2. Designed using a progressive, contemporary design style and the preferred exterior material palette to reinforce the Hills of Minneola architectural patterns.

Smaller scale buildings that may be subject to the residential scale requirement may include freestanding bank buildings or professional offices, restaurants, etc.

Larger scale buildings such as shopping centers, supermarkets, healthcare facilities, etc. may consider a contemporary design style.

Both are illustrated in the sample supermarket elevation on page 12.

BUILDING SCALE AND FORM

When designing the façade(s) of a building, use appropriate scale and proportioning methods. Avoid long, mundane expanses and lengths of walls by adding a change in wall or roof planes to create depth and shadow lines. Subdivide long building walls into smaller, well-proportioned building components. Avoid blank, windowless or featureless walls.

Refer to the sample design methods shown on page 13.

AUTHENTICITY

All architectural components of a facade should be intentional and functional (i.e. columns, brackets, windows, etc.). Avoid any unnecessary or false components. The criteria described in the authenticity section of the residential guidelines also applies to all commercial development.

EXTERIOR MATERIALS

Unlike most other conventional development, the exterior materials on commercial buildings will be comprised of the common building materials that define the prevailing distinctive architectural patterns in the Hills of Minneola. All colors to be approved by the ARC. Prominent building materials should include:

- **Exterior Cladding:** Stone, siding, composite panels, wood, and glass. Stucco may only be used as an accent material or applied to a lesser degree. Stucco may be used on the side and rear elevations.
- **Roofing:** Flat roofs, metal or tile. Shingles are not permitted on commercial buildings

VISUAL SCREENING

Any unsightly utilities must be properly screened by walls, fences and/or landscaping using the same building materials as the building. This applies to all exterior mechanical or electrical equipment (including meters), dumpsters, etc. This also applies to screening of mechanical equipment placed on roofs where it is visible from the street.

PREFERRED EXTERIOR MATERIAL PALETTE

Commercial & Residential Construction



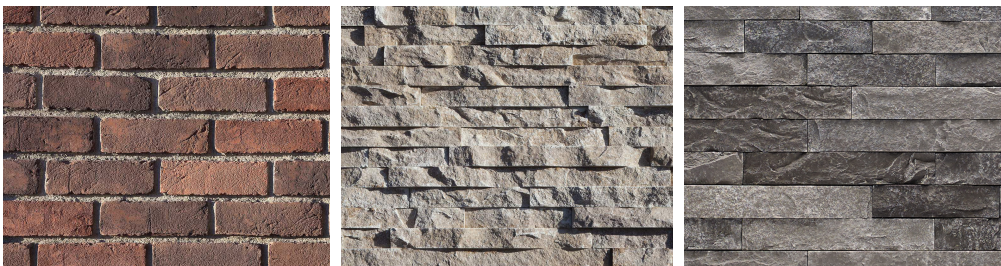
Roofing

Standing Seam Metal.
Corrugated Metal.
Flat Roofs (TPO).
Dimensional Shingle
(Residential Only).
Flat Roof Tile.



Siding

Fiber Cement Siding
horizontal & vertical.
Board and Batten.
Composite Wood Panels.
Wood: Cedar, Cypress.



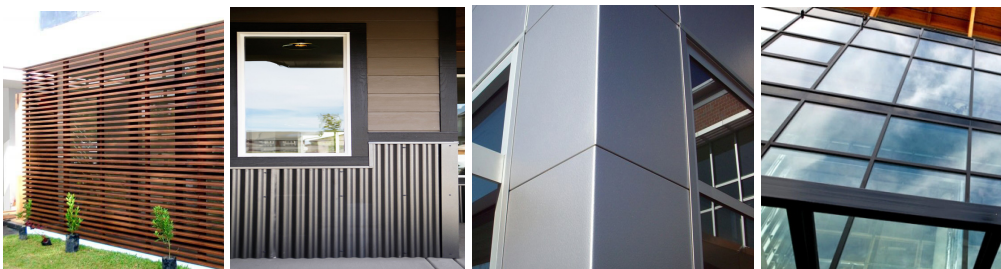
Masonry

Brick.
Ledge Stone.
Ledge Cut.



Concrete

Hard Coat Stucco.
Cast in Place.

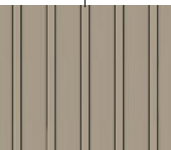
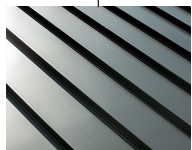


Metal - Glass

Corten Metal.
Galvanized Metal.
Panel/Siding Metal.
Architectural Glass.

COMMERCIAL ARCHITECTURE - SUPERMARKET

Modern Farm Style



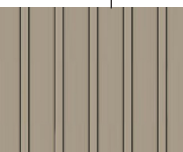
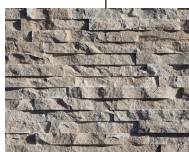
Metal Roof

Brick

Corrugate
Galvanized Metal

Board & Batten
Siding

Contemporary Style



Flat Roof

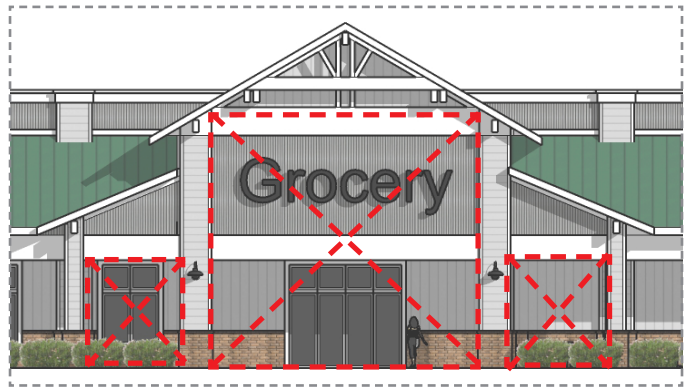
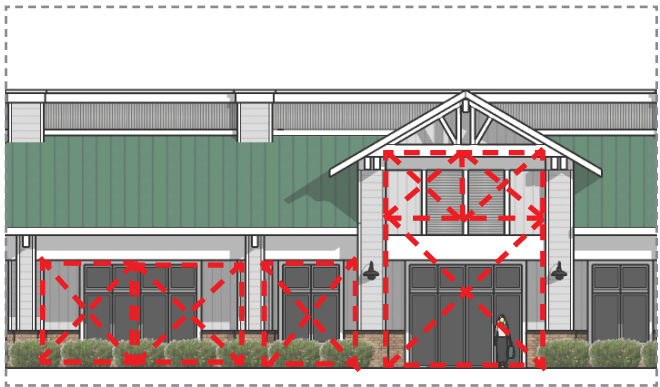
Ledger Stone

Metal Panel

Board & Batten
Siding

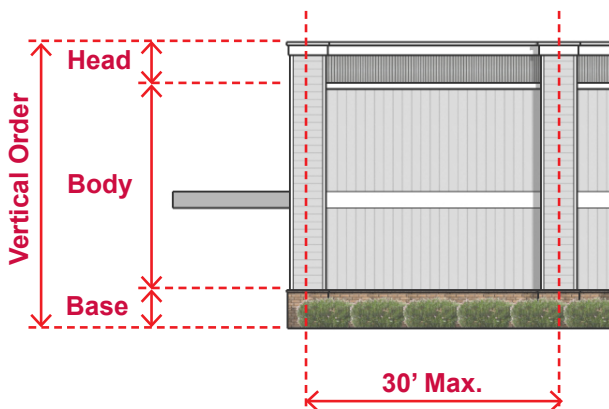
COMMERCIAL ARCHITECTURE - EXAMPLES OF PERMISSABLE DESIGN PROPORTIONS

Modern Farm Style



Acceptable proportioning methods

Apply type of order on vertical elements Create vertical elements to break long horizontal walls



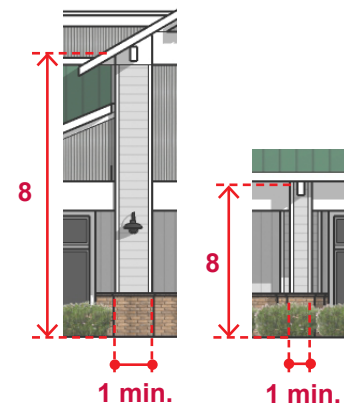
Wall Proportions

7/12 Pitch Min. On Farmer Building Style



Roof Pitch

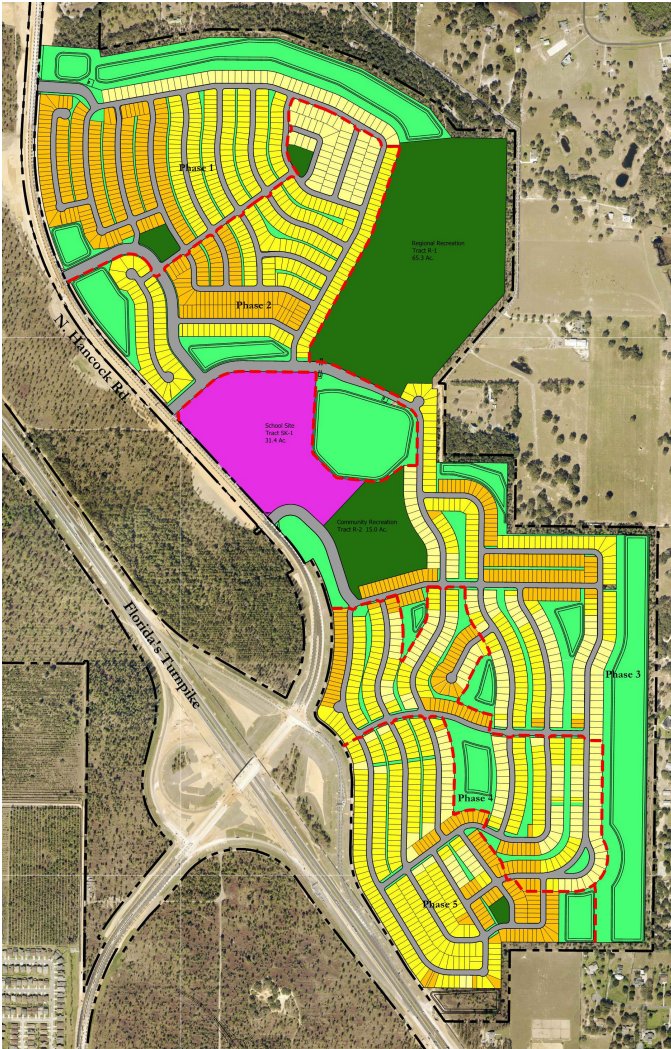
Acceptable proportioning methods on columns



Column Proportions

ARCHITECTURE

Residential Community Design Criteria



Initial Lot Layout

BUILDER PROGRAM

If prototypical floor plans are used, then Builders must submit a proposed site plan with a plan schedule listing the size (in air-conditioned area) of each proposed Unit plan in sequence. A minimum of four different plans in a plan series is required and each plan must have a minimum of three different elevation styles (refer to permissible styles).

ELEVATION DIVERSITY / REPEATING PLANS

Home elevations shall not be duplicated within three houses of each other, on the same or both sides of the street.

MONOTONY CODE

A Monotony Code will be implemented in the Community by the ARC and will focus on floor plans, elevations, porches, and exterior color schemes.

No fewer than 30% of Unit elevations shall have a Front Porch.

Refer to page 26 for front porch design criteria.

CORNER UNITS OR SPECIAL FOCUS UNITS

Special Focus Units, as dictated by these Design Standards, will have additional architectural and landscape requirements.

At a minimum, the design of the front elevation must also carry around onto the exposed side street elevation in view from a public street, side street or other public way. This includes using the same style, building materials, window types and muntin patterns, trim, etc. as the front elevation.

ARCHITECTURE

Residential Unit Site Planning

All Unit site improvements must be in compliance with the City of Minneola local codes and ordinances. In the event any criterion outlined herein is contrary to City Code, then the City Code will govern.

BUILDING HEIGHT

Building heights are outlined in the Hills of Minneola PUD and are governed by the City of Minneola Zoning Code. Single Family residences shall not exceed 35'; Multi-Family shall not exceed 45'.

EASEMENTS

No permanent structures shall be placed within the boundaries of any easement. Fences and walls are not considered permanent and may be allowed within landscape easements.

DRAINAGE, GRADING, FINISHED FLOOR ELEVATIONS

Home site drainage plans must conform to the approved engineering plans and be submitted to the ARC. Plans shall provide for proper site surface drainage to prevent surface water interference with adjacent Home sites and natural surface water flows. Paved areas shall be designed to allow surface water to drain naturally and not allow water to collect or stand. The ARC may require a cross-section of a plot plan showing grade elevations from the centerline of the front street to the rear boundary line of the Home site.

Site plans shall show physical improvements and elements of the landscape and terrain which control or determine the location or flow of surface water and drainage patterns. If adjacent Home sites are developed, the grade elevations

shall be noted. No landscaping shall restrict the conveyance of surface water.

DRIVEWAYS

Materials: Hard surfaces should be made of concrete, concrete pavers, natural stone or brick pavers with reinforced edges to prevent spreading. Acceptable paver materials will be determined by the ARC.

Size: Sixteen feet (16') wide minimum unless otherwise approved by the ARC. When curbs and/or sidewalks are required to be broken for driveway entrances, the curb shall be repaired in a manner acceptable to the ARC.

Flares: All driveways are required to have a three foot (3') flare to accommodate full size vehicle turn radius and must match the driveway surface over the easement from the sidewalk to the street.

Driveway reflectors are not permitted.

Driveways must meet City Code.

LEAD WALKWAYS

The purpose of walkways is to lead pedestrians to the various entrances of the building. Walkways should be made of a material to match the driveway, or if located in the rear yard, or decking or patio materials.

SWIMMING POOLS, DECKS AND POOL ENCLOSURES

The final plans submitted to the ARC for approval shall depict any swimming pool and deck improvements on the Home site, and shall include all design components including materials, finishes and colors of the proposed pool deck,

fence, additional landscape, screen enclosures, pool equipment or any other requested element. Pools located on residential Units are subject to the approval of the ARC and must comply with all applicable regulations.

No pool shall be placed in a sideyard. No pool or pool deck shall extend beyond the length of the residential structure.

No pools are allowed in front or side yards.

Pool enclosure frames are required to be a dark bronze or black with black solar screen. Enclosures must have sufficient landscaping around them to minimize their appearance.

FENCES & WALLS DESIGN APPROVAL AND LOCATION ON THE LOT

The design of all fences and walls is subject to approval by the ARC as part of the approval process. Due to site conditions, swale grades, drainage and easement locations may become more restrictive so that they do not impede drainage or block access to any easement.

No fences or walls are permitted within ponds and lake areas, including the drainage/maintenance easement adjacent to a pond or lake. Additionally, no fences or walls are permitted within a wetland setback, buffering a preservation or conservation area.

Fences must meet City code.

No fences or walls are allowed in a public utility or drainage easement without an estoppel agreement.

FENCES & WALLS PERMITTED

The following walls and fences are permitted in the community, subject to applicable requirements of the City of Minneola and approval by the ARC:

- Low fences and walls;
- Low walls with grillwork and columns or balustrades;

Community Fences, Commercial Parcels, Arterial Road Right of Way Amenity Parcels

The 4 rail fence shall be used for all commercial, community and arterial road rights of way. The extent of the fence in the landscape is subject to the approval of the ARC.



Traditional 4 Rail Horse Fence



Modern 4 Rail Horse Fence

The modern rail fence aesthetic may be utilized in commercial and residential amenities, subject to the approval of the ARC.



Modern Rail Design

- Columns and hedges;
- Columns and grillwork;
- Pool and other freestanding ornamental fences;
- Screen walls and fences;
- Retaining walls.

FENCES & WALLS PROHIBITED

The following fences and walls are prohibited on any lot:

- Chain-link fences;
- Pre-manufactured concrete walls;
- Railroad-landscape timber walls;
- Walls and fences intended to serve as dog runs or animal pens.

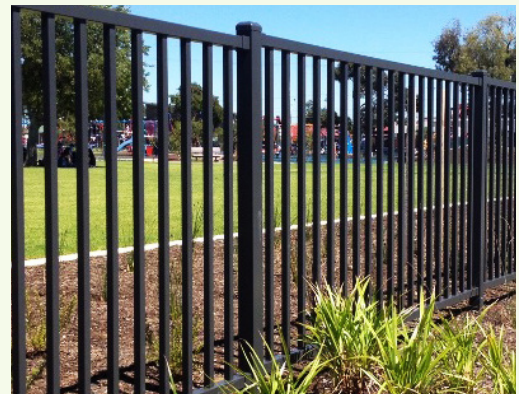
FENCES & WALL MATERIALS & FABRICATION DESIGN CRITERIA

- The scale and proportion, materials, colors and finishes shall be compatible with the architectural character design of the community;
- All aluminum and wrought iron materials must be primed and painted;
- Brick walls should retain their natural color. Patterned brick work is encouraged;
- All stucco must be painted, and the color is to complement the building's architecture;
- Planting vines along the face of the fences or walls is encouraged to create a softer garden appearance;
- PVC fence materials may be used only in the side yards or rear yards. The surface must be flat. Shiny vinyl is not acceptable. PVC vinyl fence must be crack and stain resistant and be guaranteed to not fade or decompose in the sun;
- On corner lots, the side yard facing the street is often highly visible and should be treated

Approved Residential and Screening Fences, Vinyl Fences Light Color Only, Metal Picket Fences



Vinyl Fence Light Colors Only



Metal Picket Fences

A solid PVC fence (or approved equal) shall be required in the following locations as identified in the Preliminary Plat for Area 2 – Pod 7. Future site plans may have similar requirements per the direction of the ARC.

- Lots adjacent to the following roads: Hancock, The Turnpike and the Turnpike off ramp, Blvd. A, and Blvd. B
- Lots that back up to any Parks, Regional Recreation (not including Street A) and Community Recreation
- Lots that back up to Stormwater Tracts SW-2, SW-3 and SW-12

as an extension of the front yard. Side yard fences and walls shall terminate into the side of the Unit a minimum of 4' from the front or rear facade on each side of the lot;

- The design criteria for a pool fence is the same as it is for a perimeter fence, except a pool fence must be a minimum of 5'-0" in height above finish grade, meet the detailed specifications and the minimum requirements of the Florida Department of Health.

EXTERIOR LIGHTING

All exterior lighting shall be consistent with the prevailing community architectural character and be limited to the minimum necessary for safety, identification, and decoration.

Exterior lighting shall be limited to concealed fixtures with bulbs not visible from adjacent buildings. Lighting will be designed in such a manner to prevent light casting onto adjacent buildings. Soffit mounted or floodlights are not allowed on the buildings. Lighting of outdoor recreational facilities requires approval by the ARC. Special site conditions may be considered by the ARC.

SIGNAGE

All signs are prohibited on a Home site, unless otherwise approved by the ARC in writing. Notwithstanding such prohibition, Builder's shall place one (1) sign on the Home site related to identification of the Home site, with the builder's name and other permitted information that has been previously approved by the ARC in writing. Additionally, builders shall install other signage as required by the ARC or any applicable laws, rules or codes, as determined and approved by the ARC. Builder is responsible for the cost of installing, maintaining and replacing any signage and hereby authorizes the ARC to remove any signs installed without the ARC's prior approval, without notice. Exception: "For sale" or "Sold" signs.

SCREENING EXTERIOR MECHANICAL EQUIPMENT

All exterior mechanical equipment, including, but without limitation, transformers, vents, air conditioning compressors, pool pumps, electrical or gas meters or meters of any other kind, cable junction boxes, utility panels, conduit, disconnects, etc. shall be concealed from view by walls of the same material and color of the Unit, by a privacy fence, courtyard wall or opaque landscaping screen. Both placement and screening of exterior equipment shall be approved by the ARC. Window air conditioning units are not permitted.

Condenser units may not be placed in the front yards or rear yards of the Unit site within view from adjacent streets or properties.

Permanent emergency generators must also be screened from view from neighboring Units or any public way (i.e. street, park, etc.). The installation and use of any generators within the community is subject to the review and prior written approval of the ARC.

UTILITY CONNECTIONS

All Utilities must be placed, run and maintained underground in conduits or cables, including but without limitation, lines, wires or other devices for communication purposes, including telephone, television, data and radio signals, or for transmission of electric current or energy. Conduits or cables are not permitted to be concealed on buildings, or on other approved improvements. In addition, all gas, water, sewer, oil and other pipes for gas or liquid transmission shall also be placed underground, within or under buildings.

Nothing herein shall be deemed to forbid the erection and use of temporary power or telephone services incident to the construction of approved improvements. All utilities will abide by, and comply with, all applicable ordinances, policies and specifications of all agencies governing such services.

WELLS

Individual wells on homesites are prohibited.

PROPANE TANKS

Above-ground propane storage tanks must be screened from view and subject to ARC approval.

ANTENNAS, SOLAR DEVICES AND SATELLITE DISHES

No antenna, satellite dish or other device for the transmission or reception of television or radio signals shall be erected, used or maintained where visible from the front street.

Solar panels/devices shall not be erected, used or maintained on a lot other than structures on a building whose installation and use is protected by Federal or Florida law. Any such solar devices are permissible on the side or rear elevations of a building and shall not be visible from the street or appear unsightly to adjacent buildings.

All solar panels must not be visible from the street.

TEMPORARY IMPROVEMENTS

No temporary building or structure shall be permitted on any building site except that barricades, temporary power poles and the like may be permitted during the construction of a permanent improvement, and provided that the ARC shall have approved the design, appearance, and location of the same. All such temporary improvements shall be placed solely within the boundaries of the property and shall be removed no later than seven (7) days after the date of completion of the subject improvement and in no event longer than a period of six (6) months from commencement of construction unless otherwise approved in writing by the ARC.

ACCESSORY STRUCTURES

No more than one (1) detached single-family residential dwelling shall be erected on a home

site. The ARC may approve accessory structures (such as gazebos, guest houses, servant's quarters, boat docks and boardwalk structures) that are detached from a building so long as they are not erected prior to construction of the building and are not intended to be held for lease.

Accessory structures must be located within the required setbacks and match the architectural style and details of the building. Accessory buildings shall not obstruct an adjacent building's view of any water or open area and shall be sufficiently landscaped, as determined by the ARC in its sole discretion.

GREENHOUSES

Greenhouses are not permitted on any building.

GAME AND PLAY STRUCTURES

The installation and design of any fixed game and play structures are subject to approval by the ARC. Such structures shall be located at the rear of the home site and shall not be visible from the front street or in a manner that detracts from views from a neighboring home. All permanent basketball backboards are prohibited.

REFUSE AND STORAGE AREAS

Garbage and refuse shall be placed in containers approved by the ARC and the City of Minneola, capped and contained in such a manner that they are inaccessible to animals. They must be kept inside the garage or, if outside, screened from view.

ARCHITECTURE

Residential Design Criteria

The following design criteria are performance based, purposely created to not be prescriptive, in order to allow freedom of design expression while concurrently maintaining minimum design standards to achieve a pleasing blend of coherent individual architectural styles that will exist in harmony with neighboring homes. Designers and Builders shall exercise the highest degree of professional skill and utmost care when planning a new home design.

In order to achieve the Developer's and stakeholder's vision for the Hills of Minneola, proper architectural design will be required. The Developer, and the ARC, will be particular in judging each elevation for its appropriate contribution to the overall community theme, at their sole discretion, so all homes and buildings in the Hills of Minneola will collectively set acceptable architectural patterns that will establish and maintain an identifiable, cohesive and distinctive community character. Any submittal contrary to this vision, deemed at the sole discretion of the ARC, will be rejected.

ARCHITECTURAL STYLES PERMITTED

Permitted and preferred Architectural Styles for the Hills of Minneola:

- Craftsman
- Florida Vernacular
- Modern Farmhouse
- Prairie
- Cottage
- Contemporary

Refer to the architectural style images that may be used for design inspiration of permissible details, facade composition, building and roof forms and proper proportions.

Other architectural styles that do not exactly fall within the preferred styles permitted above or use a combination of the preferred styles will be

considered as "**Contemporary**". If considering a Contemporary style, consult with the ARC first to seek conceptual approval prior to investing time in a possible non-conforming design. "**Modified**" Architectural Style elevations may be found acceptable if Builders can achieve a "hybrid" or "transitional" blend of design to maintain the character and integrity of the prevailing, established precedent architectural styles and blend old with new contemporary themes.

ARCHITECTURAL STYLES NOT PERMITTED

Stark, quirky, jarring, modern design that contrasts, contradicts or shows no regard for the prevailing community styles and whose presence may disrupt the architectural harmony of the Community will not be permitted. Any insipid, characterless or mundane elevations, adjudged in the sole discretion of the ARC, will not be permitted.

AUTHENTICITY

The exteriors of all new home designs, including remodels and additions, must be designed to achieve a dignified, elegant stature with meaningful and purposeful design intent consistent with the precedent styles provided above. Fake dormers, fake or undersized shutters, fake wood, unnecessary overbuilt gables, blackened windows, scored stucco bands, etc. to mimic building materials or ornaments are highly discouraged.

EXTERIOR DESIGN, TOWNHOMES OR MULTI-FAMILY

For Builders developing multiple Units, variety in building massing and form is encouraged in order to create interesting facades along the

STYLE CHARACTER - CRAFTSMAN



streetscape. Incorporate small variations in building setbacks and changes in roof heights to give interest and animation to the buildings.

All facades and building volumes shall be properly scaled and proportioned.

ARCHITECTURAL COMPOSITION

Facade composition shall be ordered, properly scaled, balanced, elegantly simple, beautiful and well-proportioned.

Avoid:

- Complicated building forms and roofs
- Monolithic, windowless wall segments
- Blackened windows
- Unnecessary ornament
- Faux features

Main entries shall be prominent and easily identifiable. Variety in building massing is encouraged. Varied setbacks, wall planes and roof heights which give interest and animation to the buildings are considered desirable.

FLOOR PLANS

Minimum Building Size: Refer to the Hills of Minneola PUD Development Standards and the Hills of Minneola Homeowner Covenants.

Maximum Building Height: Refer to Hills of Minneola Zoning Code.

Ceiling Heights:	First Floor	9'-4" min
	Second Floor	9'-0" min

GARAGES

Garages shall be designed and constructed within the buildable area of the home site in accordance with these Design Guidelines and any other specific design specifications adopted by the ARC from time to time, in the ARC's sole discretion.

All residential dwellings shall include an integral garage adequate to park at least two (2) large-sized automobiles with a minimum inside clear width and depth dimension of twenty (20) feet and also provide extra space for sufficient common garage storage.

On lots 50' wide or more, in no case should the scale of the garage be more prominent than the structure. The width of the garage may not occupy more than 50% of the total width of the front elevation, unless approved by the ARC.

Garage doors, along with the front doors of the Unit, should be of consistent design, material and color to match the architectural style, unless otherwise approved by the ARC.

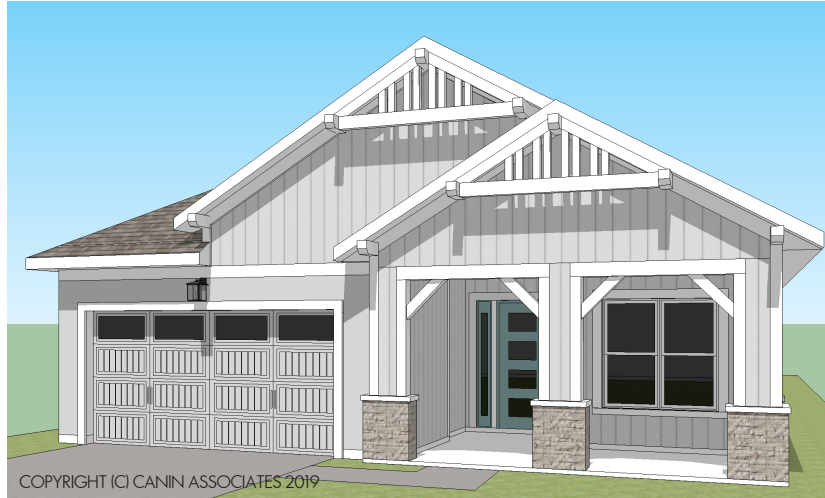
All garage doors must be modestly decorative. Long panel design is preferred. EXCEPTION: alternatives may be considered by the ARC if the Unit is designed with a Contemporary or Modified Architectural Style approved by the ARC.

Any windows in garage side walls visible from the street, public right-of-way or adjoining property shall have interior coverings that are consistent with the window coverings inside the house. Garage windows are not permitted to be "blackened" nor can they expose any of the contents within the garage.

ADDITIONAL GARAGE DESIGN REQUIREMENTS:

- Door heights: all garage doors must be a minimum of eight feet (8') high.
- Door lites: lites are limited to the top panels of garage doors only. When used, they must comply with the overall proportioning rules for window proportions. Ornate, decorative or sunburst window designs are prohibited while lites with muntins in a simple cross or vertical pattern are desirable.

STYLE CHARACTER - FLORIDA VERNACULAR



- Ceiling heights: the ceiling heights and truss bearings for garages are encouraged to be no higher than nine feet above the finished garage floor in order to minimize the forehead of the wall surface above the garage doors and to minimize the prominence of the garage.
- Avoid arch trim details over garage doors, they tend to accentuate the garage which is not preferred.
- Avoid gable roofs over garage doors, this also tends to accentuate the garage.
- Second floor rooms with habitable space above the garage are acceptable and encouraged.

Garage Doors should be painted either the same color as the main body of the house, or a trim color to blend with the trim colors of the house.

CARPORTS AND PORTE COCHERES

Carports are not permitted. Porte Cocheres must match the style and materials of the main residence.

ROOFING MATERIALS

All pitched roofs shall be shingle, metal, barrel tile, clay or concrete tile. Roofing materials shall be consistent for the entire structure - changes in roofing materials between one building massing and another is highly discouraged.

FLAT ROOFS

Flat roofs are permitted as the main roof of the primary structure only on Contemporary or Modified Style Units.

PITCHED ROOFS

All gable and hip roofs shall have a minimum roof slope of four to twelve (4/12) unless proven otherwise by historic precedent or Modified Architectural Style and approved by the ARC.

Roofs with less than a four to twelve (4/12) slope may be approved by the ARC but only in minor areas, not to exceed fifteen percent (15%) of the total roofing area. Smaller roof portions with lower pitches may be acceptable if primarily used as a canopy, awning, trellis or roof connection between two larger pitched roofs. All connecting roofs (for example, a garage to main structure or freestanding garage) shall be constructed with material compatible with the main structure.

Eaves: Depth of sixteen to twenty-four inches (16"-24") preferred. Eaves may not project more than forty-nine percent (49%) of the side yard setback width, measured to the outside face of the fascia.

Soffits are preferred to be made of wood, fiber cement board, PVC composite panels or stucco. Metal, aluminum or vinyl soffits are discouraged, but not prohibited. Soffits, eaves, overhangs, and cornices should be designed consistent with the chosen architectural style.

Fascia: Minimum eight inches (8") vertical face dimension.

Roof Vents: All roof vents shall not be visible from the front street, side street on corner Units side and must be located on the rear or side roof planes. Gable end vents, if used, must be functional with ventilated attics. Decorative vents shall be consistent with the architectural style.

ROOF APPURTENANCES

All roof accessories such as vent stacks and roof vents shall be painted to match the roofing color. Wherever possible, vents shall be located away from the front entry elevations and located on the side or rear roof planes.

Solar Devices: The appearance of solar energy producing devices (active and/or passive) on the roof of a Unit are subject to the ARC approval, but in all cases must not be in view from adjacent

STYLE CHARACTER - MODERN FARM HOUSE



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streets or properties. Skylights are not permitted within view of the front facing street.

Gutters are optional as part of the roof fascia and eave system; provided, however, gutters shall be placed at any entrance to the Unit or in areas required to mitigate erosion to adjacent properties. Half-round gutters, integrated gutters and downspouts are acceptable and preferred. Gutter emitters may discharge in the right-of-way.

PORTICOS, PORCHES, DECKS, VERANDAHS AND BALCONIES

To promote indoor/outdoor transitions, the creative use of porches, decks, balconies or wide verandahs are strongly encouraged.

Front porches shall be functional and have a minimum of six feet (6') in depth of furnishable clear space, 5' minimum to inside face of porch posts and columns.

Railings and guardrails should be wood, stone, precast, painted aluminum/metal, glass or wrought iron (with proper rust inhibitors), and designed to be architecturally compatible with the Home.

SCREENED PORCHES OR BALCONIES

Subject to the prior review and approval of the ARC, only screening constructed in a manner consistent with the architectural style of the Unit may be used to enclose covered porches. Aluminum framed screening is highly discouraged and not likely to be approved. Motorized or roll down screens are preferred and more likely to be approved.

Screening of front porches is not permitted.

ARCHITECTURAL PROJECTIONS

Second floor walls or bay windows that project past the first floor walls must have beams, brackets or corbels to show visual structural support. This also applies to balconies or any

other building projection (not applicable to typical roof overhangs).

COLUMNS AND POSTS

Columns, beams, entablatures, etc. must be historically accurate, designed using proper scale and proportions and have appropriate styled capitals and bases, (EXCEPTION: Units with a Contemporary or Modified Architectural Style). Permitted column materials include wood, fiberglass, GRFC, precast concrete or stone. Posts may be made of wood with its capitals or bases made of wood or composite trim.

Columns must be functional as part of a structural assembly; not false or used as decoration. Column bases must be positioned to rest on a slab or base and may not overhang edges of slabs or balcony floors. Field fabricated columns, capitals or bases must be detailed to accurately represent the same historical precedent. Details for any field fabricated columns are required to be submitted to the ARC for approval.

Expanded Polystyrene Foam ("EPS") column capitals and bases may be acceptable if detailed properly. Scored or raised stucco bands to mimic capitals or bases are not permitted.

EXTERIOR BUILDING MATERIALS

The application and design of exterior building materials shall be limited to no more than three materials in the following combinations:

All brick, all stone, all siding or all stucco;

One (1) brick type + two (2) siding types;

One (1) stone type + two (2) siding types;

Siding, maximum of two (2) types;

Not permitted: brick mixed with stone.

Scored bands or raised bands for architectural features are not permitted. Changes in building materials as wall cladding, i.e. transitioning from siding to stucco, must start and stop at inside building corners. The change in materials is not

STYLE CHARACTER - PRAIRIE



permitted to occur at outside building corners, and materials across the front wall plane cannot turn at a building corner and stop 2' down the side wall.

Elevations must show deliberately placed control joint locations conforming to ASTM 1063 on all areas receiving stucco and at any CMU/Wood horizontal transitions.

BRICK AND STONE

Acceptable stone materials include brick or manufactured stone.

Brick or stone veneer must start or stop on inside building corners.

Brick or stone should be used as a full wall material to define whole building elements. Brick or stone is not permitted to be used on an implied foundation only with a "dipped in brick" appearance.

METALS

Metal Surfaces: Anodized or paint finish is required, including without limitation, windows, flashing, drips and caps.

EXTERIOR TRIM AND ORNAMENT

Any architectural appointments or trim details must be consistent with the architectural style of the structure.

Use trim pieces or ornaments made of precast, brick, stone or wood, PVC composite, fiber cement trim boards or EPS Foam. Composite alternatives may be acceptable but only at the discretion of the ARC. EPS foam shapes may be used on second level walls or eaves only.

DOORS AND GATES

Front entry doors must be decorative and consistent with the architectural style.

Screened areas located near the front of the building or front door are prohibited. Any door

screens must be approved by the ARC prior to installation.

WINDOWS

Wall openings (windows, fenestration) are required to be fifteen percent (15%) to thirty-five percent (35%) of the total wall area of each building massing or wall segment. Large, blank, windowless walls are not permitted.

Windows shall be of a size, proportion and muntin configuration consistent with the architectural style of the building and remain consistent on all sides of the structure.

Windows should be vertically proportioned with a height of 1.75 or 2.25 its width, or otherwise as dictated by the architectural style precedent.

Window Transoms: Square, rectangular or 1/2 round are permitted. Segmented or elliptical arched windows are discouraged and not appropriate, unless otherwise found by the ARC to be consistent with another approved architectural style.

Jalousie-type windows and glass block are not permitted in walls that face the front street, public way, open space or neighboring house.

Lightly tinted glass is permitted. Windows with dark tint, foil,

reflective material or painted blackened glass is not permitted.

EXTERIOR SHUTTERS AND AWNINGS

Exterior window shutters, if used, must be applied on all windows within view from the street or public way. They must be appropriately sized to match window openings. Shutter width must be equal to half the width of the opening they serve. Exterior shutters are not permitted on mulled windows or windows greater than thirty-six inches (36") in width.

STYLE CHARACTER - COTTAGE



Builders may install impact resistant windows or authentic, operable shutters engineered to withstand hurricane force winds. Any hurricane shutters must be approved by the ARC prior to installation on the exterior windows of a building. Canvas awnings are not permitted.

CHIMNEYS

Any exposed portions of a chimney outside of the building shall be constructed solely of brick or stone. If the fireplace is a metal (self-insulated) type with a metal spark arrestor at the top of the chimney, this arrestor must have a cowl or surround of a material and color approved by the ARC. No unpainted aluminum may be left exposed on the exterior of the building.

Chimney dimensions shall be compatible in scale to the Home; however, the minimum size shall be two feet six inches (2' 6") deep by four feet six inches (4' 6") wide.

STYLE CHARACTER - CONTEMPORARY



ARCHITECTURE

Exterior Color Palette

All exterior colors shall be submitted to the ARC for review and approval. The ARC discourages the use of neutral colors such as beiges, blues, and pale yellows on the base of the homes.

PAINTING CRITERIA

1. Paint protruding building elements from inside corner to inside corner. Do not start or stop a different paint color on outside corners.
2. Paint the inside of recessed window openings the same color as the window trim color, not the field color. If there is no window trim, use the field color.
3. Utilities: Paint all non-decorative features or utilities such as electrical meters, disconnects or non-decorative vents the same color as the surrounding field color.
4. Porch columns and beam color: Paint all sides of beams white or light accent color, including the underside. Beams are to be painted the same color as the columns together as a complete assembly. Beams and columns are not permitted to be painted the same color as the primary field color.
5. Roof Penetrations: All roof penetrations should be painted to match and blend as close as possible with the roofing color.

Unless builder has obtained pre-approval by the ARC prior to any application of stucco, paint or any other finish to a building, Builder's shall submit the following for ARC review and approval:

1. A four (4') foot by four (4') foot sample of desired stucco, base and trim of paint colors to be painted on the exterior of the structure;
2. Roof, paver and any other decorative samples shall be submitted simultaneously with the color samples;
3. Color photographs of the construction site taken from each corner of the Unit;
4. Color photographs showing adjacent Units and any Units located directly across the fronting street;
5. A schedule of any paint or finish manufacturer's name, color name, color number/code, applicable painting or finishing techniques for any stucco, paint, roofing, pavers and decorative precast, which schedule is identified by both street address and platted legal description.

The ARC shall notify the Builder of its approval or disapproval of the aforementioned material samples in the ARC's response to the Final Design Submittal. In the event the ARC disapproves of any individual sample, Builder shall submit additional samples to the ARC for additional review.

LANDSCAPE DESIGN

Design Criteria

It is the purpose of this section to establish criteria for minimum aesthetic landscape standards within the Hills of Minneola. The ARC, in its sole discretion, may require additional landscaping on any property, as viewed from the public realm.

The landscape should complement and enhance the architectural style of the buildings while maintaining a Florida character. Landscapes should provide a backdrop of native plantings with accent plants, while incorporating Florida Friendly principles to facilitate water conservation. It is the desire of the ARC that the landscape reflect the same level of permanence, quality and elegance as the architecture.

The landscape architect shall examine the existing adjacent landscapes of previously developed adjacent sites within the Hills of Minneola and the proposed landscape design shall be coordinated with such existing landscape.

Buffering between neighboring developments, streets or adjoining open space corridors shall be addressed in any landscape plans submitted to the ARC. Open views into windows, patios and pool areas from beyond site boundaries should utilize plant screening.

All plant material within the Hills of Minneola shall be Florida #1 or better as defined by the latest edition of Grades and Standards for the Nursery Plants, State of Florida, Department of Agriculture and Consumer Services, Tallahassee, FL. Environmental sustainability is a goal of the community. Excessive use of fertilizer, pesticides and water-intensive species is discouraged. To prevent infestation and damage to native plants in the Community, the owner or builder shall remove from the site any species specifically identified for such removal on the Florida Exotic

Pest Plant Council's List of Invasive Species Landscape Materials List and Guidelines. All landscape designs and installations must comply with City of Minneola Land Development Code and the Hills of Minneola PUD Development Standards.

All parcels with lawn and planting areas with slopes greater than 3:1 shall be stabilized with groundcover or reinforced with biodegradable netting.

Planting plans for all commercial areas and joint use areas including parks and streetscapes are to be developed by a licensed landscape architect and include plant schedules.

Appropriate hardscape materials include but may not be limited to concrete pavers, stone pavers, concrete (patterned and/or integral colored) and asphalt.

SHRUBS AND GROUNDCOVER

A minimum of twenty five percent (25%) of the total number of shrubs and groundcover plantings must be a native to Florida as described in the Florida Friendly plant list from the University of Florida IFAS Extension office. A minimum of fifty percent (50%) of the shrubs and groundcover must be cold hardy species.

Annual plantings shall not exceed five percent (5%) of the total square footage of groundcover planting. Groundcover planting shall be installed at an appropriate spacing to achieve full coverage within the first two years of planting.

TURF GRASS

All turf grass areas shall be installed with solid sod and approved by the ARC prior to installation. Lawn in the streetscape area shall be installed and irrigated to the street pavement edge.

MULCH

Mulch areas shall be limited to the area that is necessary for practical purposes and long term maintenance.

Plastic edging is prohibited.

No gravel, artificially colored mulch or other crushed materials shall be substituted for organic mulch materials.

Landscape plans shall identify the type of mulch proposed for review and approval by the ARC.

FOUNDATION PLANTING

Facade building foundations shall be entirely planted with shrubs or groundcover. The elevations of the buildings shall have sufficient landscaping to screen blank walls visible from public rights of way. All walls or fences used for screening or buffering shall have associated landscape planting in the form of continuous hedge or vines.

EARTHWORK

Berms must present a natural, free flowing appearance and not be higher than three feet (3') with a maximum 4:1 slope.

Angular berms or planters created with timbers are prohibited. Berms must not create surface drainage problems.

TOPIARIES

Pruning trees or shrubs into odd irregular shapes is prohibited except for hedges, and individual focal pieces, and espalier plants.

All pruning shall be done in accordance with Natural Arborist's

Standards. No topping or hat racking of trees is allowed.

IRRIGATION

All landscape areas shall be provided with an automatic underground irrigation system. Irrigation must be provided to the back of the curb of the adjacent street and to the rear lot line of the site. The use of a rain switch is required. All sites must use the irrigation water source provided by the community. The irrigation system will adequately provide water to the entire site, including the common area between the sidewalk (when applicable) and street curb in front of each site. Irrigation systems must comply with City of Minneola codes and ordinances.

ART FEATURES AND ORNAMENTS

The installation and location of any fountains, statues and other exterior artistic or display features on any site are subject to the prior written approval of the ARC.

AREA BETWEEN THE SIDEWALK AND THE CURB

During the home construction, special care shall be taken to minimize the disturbance to this area. The landscape and irrigation in this area should be installed at the same time as the landscaping and irrigation is installed for the entire property.

HARDSCAPE - WALKS AND TRAILS

Typical Trail Examples



Existing Hancock Trail



Asphalt Trail



Boardwalk



Access/Maintenance Trail



Wide Sidewalk



Nature Trail

HARDSCAPE MATERIAL

Pavilion/Shelter



The shelter images included are representational only.

The intent is to utilize wood, stone and metal with a modern aesthetic for pavilions and/or shelters in parks, open spaces and trail heads.

Wall Material



These images represent preferred stone veneer pattern options.

All proposed stone veneers must be detailed and approved by the ARC.

HARDSCAPE - PREFERRED WALL MATERIAL PALETTE

Real Stone and Manufactured



Sonoma Ledge | Cream

Limestone

saladousa.com

Specs

Size: Random heights, typically under 3" tall; random widths; 3-5" thick.

Coverage: 45 square feet/ton (approx).



Sonoma | Cave

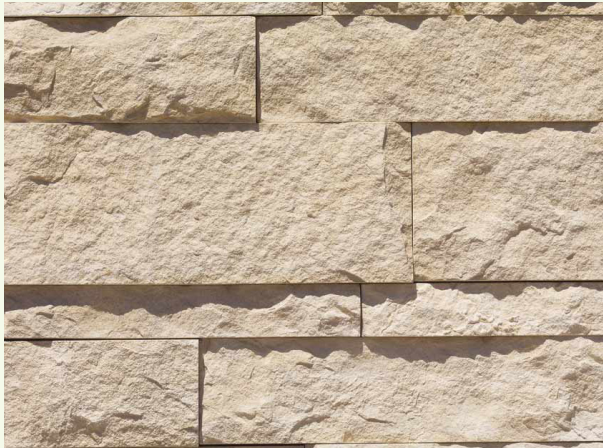
Limestone

saladousa.com

Specs

Size: Saw cut on top and bottom with chopped/split face. Heights are cut to specifications, typically 4-12" (2" to 16" options available). Random broken/chopped lengths. Nominal 3-5" thickness.

Coverage: 40-45 square feet per ton.



Cut Coarse Stone | Oyster

Limestone

saladousa.com

Specs

Panel Dimensions: 3", 6", 9" H x from 12" to 24" L.

Dry-stack installation.

HARDSCAPE - PREFERRED WALL MATERIAL PALETTE

Manufactured



Artisan Masonry Veneers
Cordova Stone™ 1-Inch

echelonmasonry.com

Specs

Panel Dimensions: 12" H x 24" L



Torreon
Colorbody™ Porcelain

daltile.com

Brino TN95, TN98, TN96
Specs

Sizes: 12" x 24"

Shade Variation: Medium (V2) - Color variation within each tile

PLANT MATERIAL - PREFERRED LIST

Florida Native



TREES AND PALMS

Betula Nigra - River Birch

Cercis Canadensis - Redbud

Ilex Vomitoria - Yaupon Holly

Magnolia Grandiflora - Southern Magnolia

Pinus Elliotti - Slash Pine

Platanus Occidentalis - Sycamore

Quercus Virginiana - Live Oak

Taxodium Distichum - Bald Cypress

Sabal Palmetto - Sabal Palm

SHRUBS AND GROUNDCOVERS

Hamelia Patens - Firebush

Muhlenbergia Capillaris - Pink Muhly Grass

Pennisetum Setaceum "Rubrum" - Red Fountain Grass

Serenoa Repens - Saw Palmetto

Serenoa Repens Silver - Silver Saw Palmetto

Zamia Floridana - Coontie

See City of Minneola landscape ordinance for full plant list.

Plants that are not approved in City Code cannot be used to meet minimum landscaping requirements.

PLANT MATERIAL - PREFERRED LIST

Not Florida Native



TREES AND PALMS

- Butia Capitata** - Pindo Palm
- Lagerstroemia Indica** - Crape Myrtle
- Livistona Chinensis** - Chinese Fan Palm
- Phoenix Sylvestris** - Wild Date Palm
- Ulmus Parvifolia** - Chinese Elm/Drake Elm
- Washingtonia Spp** - Washington & Desert Palm

SHRUBS AND GROWDCOVERS

- Cortaderia Selloana** - Pampas Grass
- Duranta Erecta "Gold Mound"** - Gold Mound Duranta
- Hemerocallis** - Daylilly
- Hibiscus Syriacus** - Rose of Sharon
- Juniperus Spp** - Junipers
- Ligustrum Japonicum** - Japanese Privet
- Lily Muscari** - Lily Turf
- Podocarpus Nagi** - Nagi Podocarpus
- Plumbago Auriculata** - Plumbago
- Rhododendron Indica** - Indica Azaleas
- Yucca Aloifolia** - Spanish Bayonet
- Yucca Gloriosa** - Spanish Dagger

See City of Minneola landscape ordinance for full plant list.

Plants that are not approved in City Code cannot be used to meet minimum landscaping requirements.

LANDSCAPE DESIGN

Commercial Guidelines

The development of “public spaces” for a variety of uses with comfortable screening, shading and an appealing planting scheme shall be encouraged in the commercial areas.

Large sod areas should be avoided and pedestrian scaled planting plans for streetscapes are required with smaller shrubs and a regular tree planting pattern.

Screening of utility and back of house areas should be considered to protect the view from the public realm.

TREES AND PALMS

Tree and palm locations adjacent to rights of way must be coordinated with street tree locations. Street trees within rights of way, adjacent open spaces and easements must be shown on the landscape plan.

Canopy street trees should be provided at 50' on center minimum.

Trees are not allowed within utility easements.

Trees or palms planted in sod shall have mulch rings to protect them from maintenance equipment and string trimmers.

ARTIFICIAL MATERIALS

Use of synthetic or artificial turf shall be restricted and only used in highly trafficked areas with appropriate underlayment and drainage specifications.

Use of synthetic or artificial plants shall not be allowed.

LANDSCAPE DESIGN

Residential Guidelines

The Owner/Builder is strongly encouraged to separate all outdoor living areas from view of public right of way or open spaces by establishing a vegetative screen with a minimum height of five feet (5') with appropriate plant materials that will achieve seventy-five percent (75%) opacity within one (1) year after installation.

TREES AND PALMS

Tree and palm locations must be coordinated with street tree locations. Street trees within rights of way, adjacent open spaces and easements must be shown on the landscape plan.

A minimum of sixty percent (60%) of trees and palms shall be cold hardy species.

Trees or palms planted in sod shall have mulch rings to protect them from maintenance equipment and string trimmers.

Where the builder is utilizing a 40' wide or 50' wide lot layout pattern, canopy trees must be provided in the home designs for every other unit in a row.

Corner lots must have one canopy tree in front and one in the side yard.

Refer to the City of Minneola Landscape Code for tree quantities.

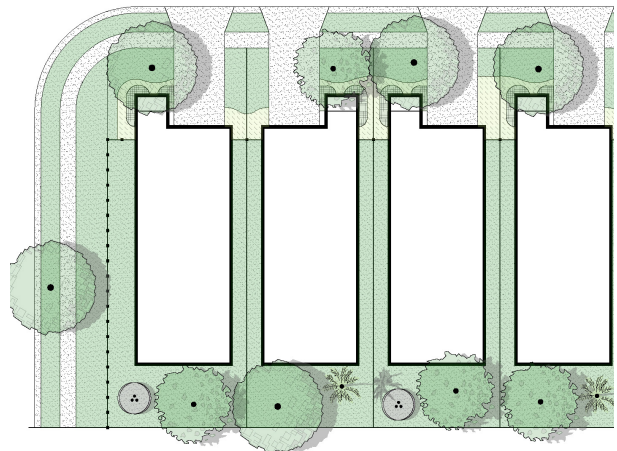
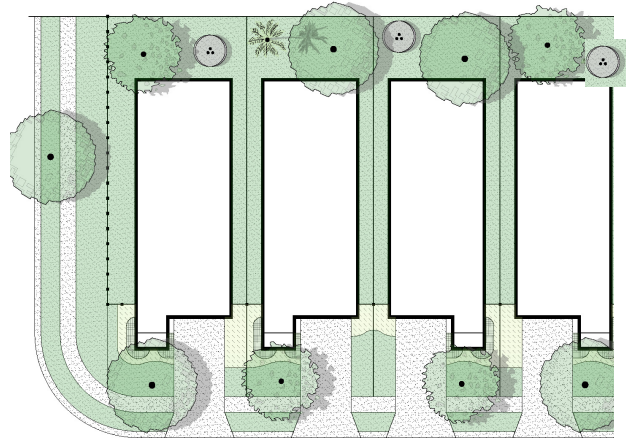
ARTIFICIAL MATERIALS

Use of synthetic or artificial plant material shall be restricted and not allowed.

SIDE YARD PLANTING

Side yard plantings must not obstruct access to the rear of the lot or proper drainage.

40' LOTS

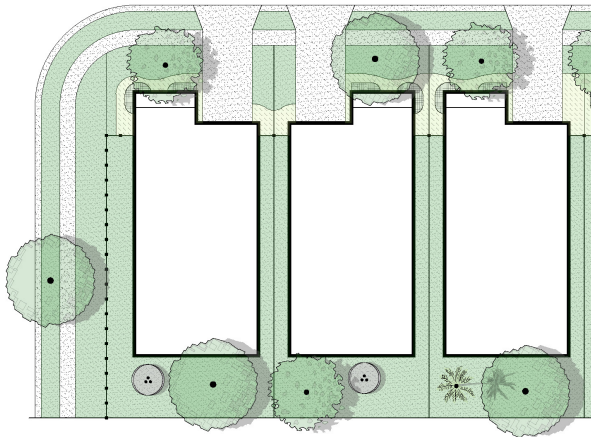
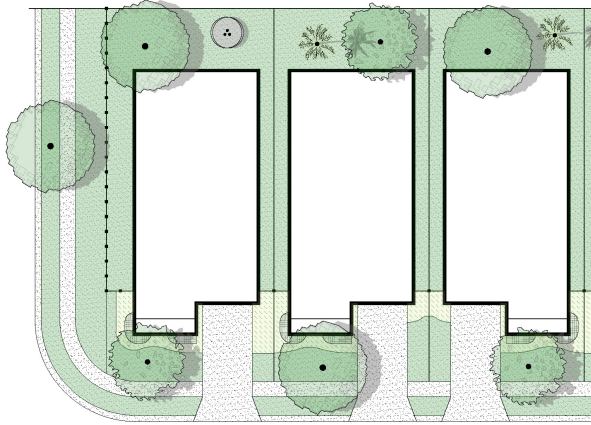


Typical Tree Layout

3 Trees for Each Lot - 2 Canopy Trees, 1 Understory Tree.

Live oaks recommended in all front yards.

50' LOTS

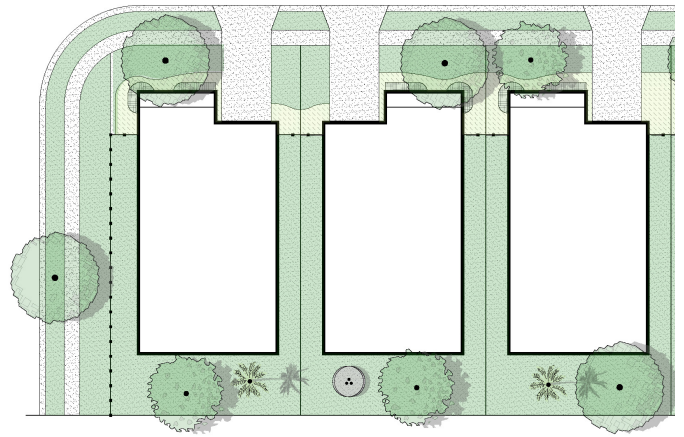
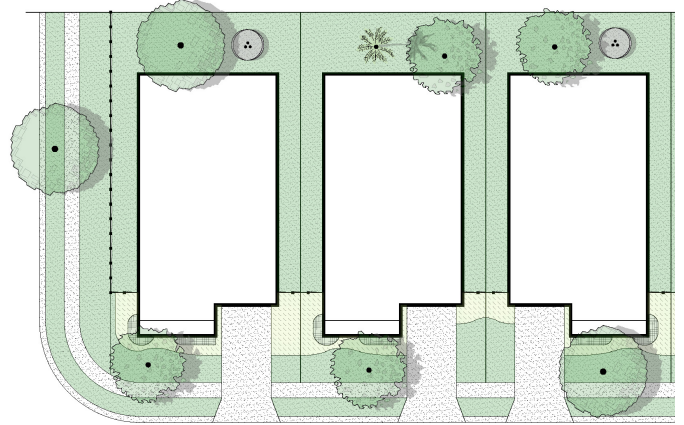


Typical Tree Layout

3 Trees for Each Lot - 2 Canopy Trees, 1 Understory Tree.

Live oaks recommended in all front yards.

60' LOTS

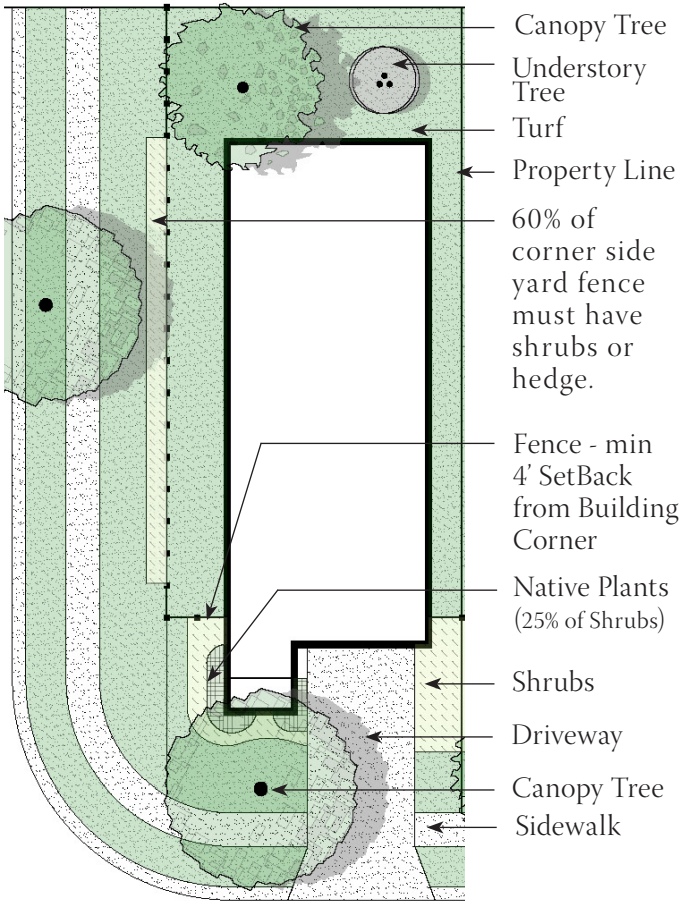


Typical Tree Layout

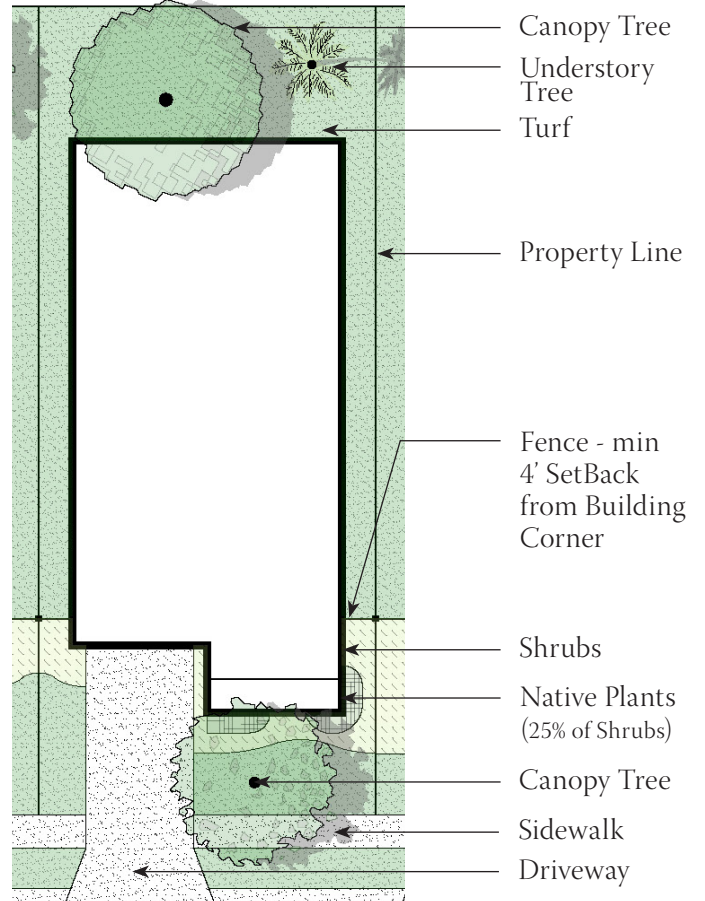
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Live oaks recommended in all front yards.

40' LOTS



50' LOTS



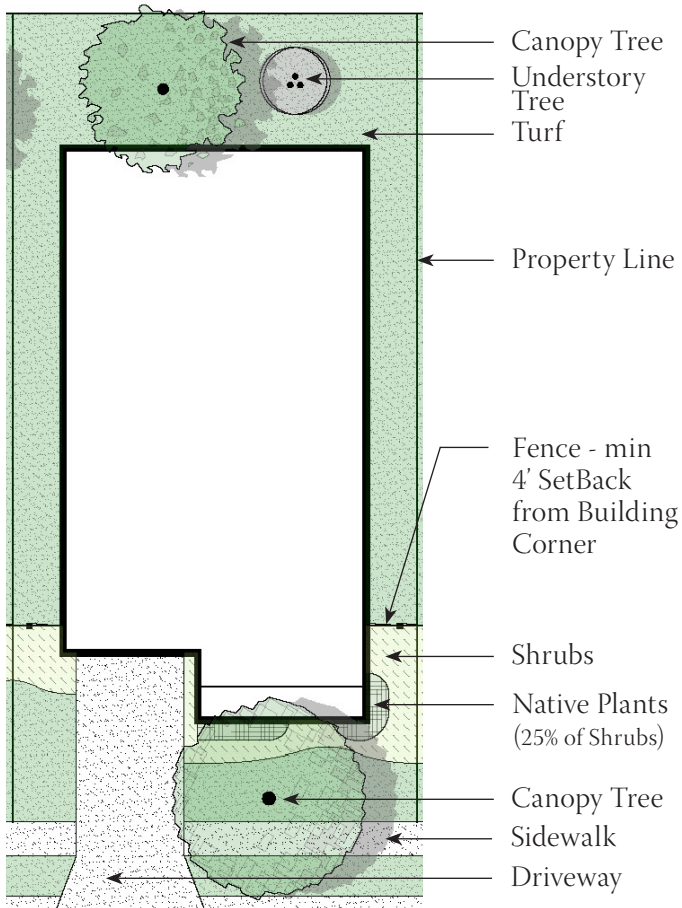
Setbacks

- Side: 5' min. (20' corner lots)
- Rear: 20' min.
- Front: 20' min.
- Front Porch: 15' min.
- Driveway: 25'x16' min.

Setbacks

- Side: 5' min. (20' corner lots)
- Rear: 20' min.
- Front: 20' min.
- Front Porch: 15' min.
- Driveway: 25'x16' min.

60' LOTS



Setbacks

Side: 7.5' min. (20' corner lots)

Rear: 20' min.

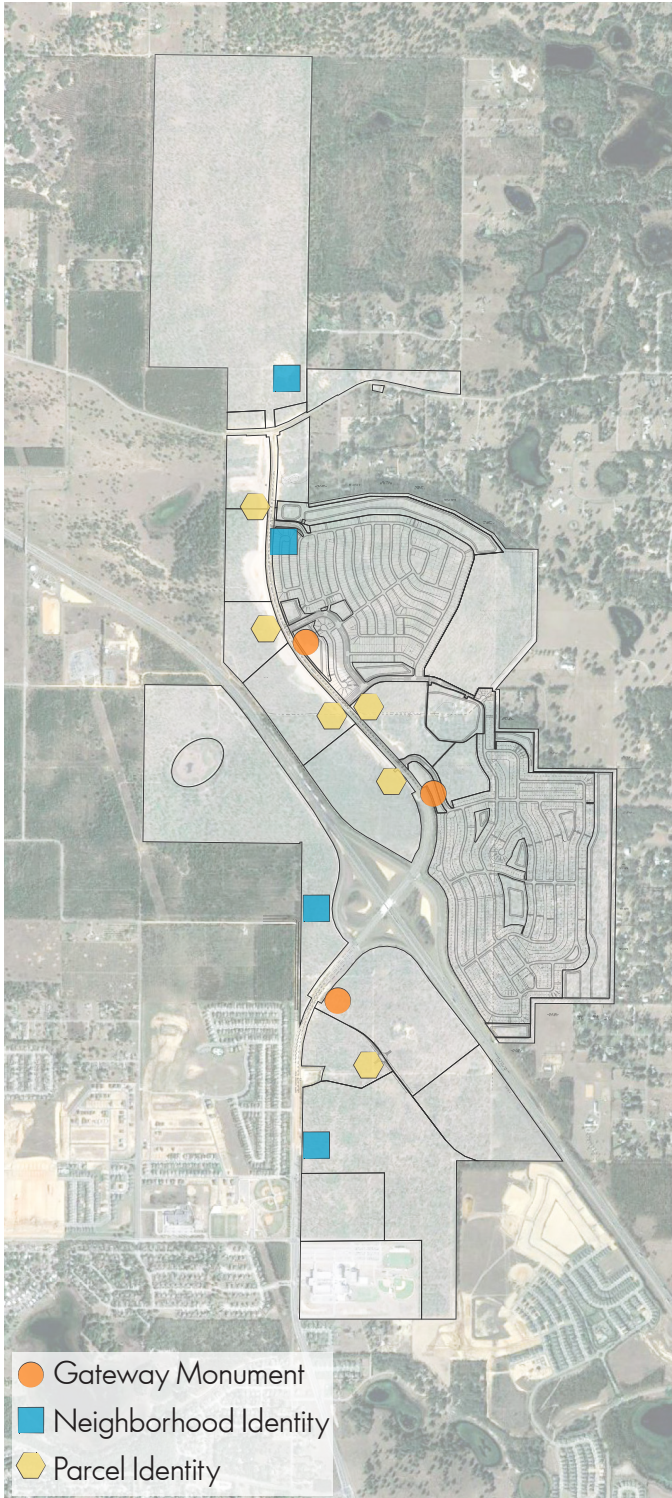
Front: 20' min.

Front Porch: 15' min.

Driveway: 25'x16' min.

COMMUNITY SIGNAGE

Sign Program

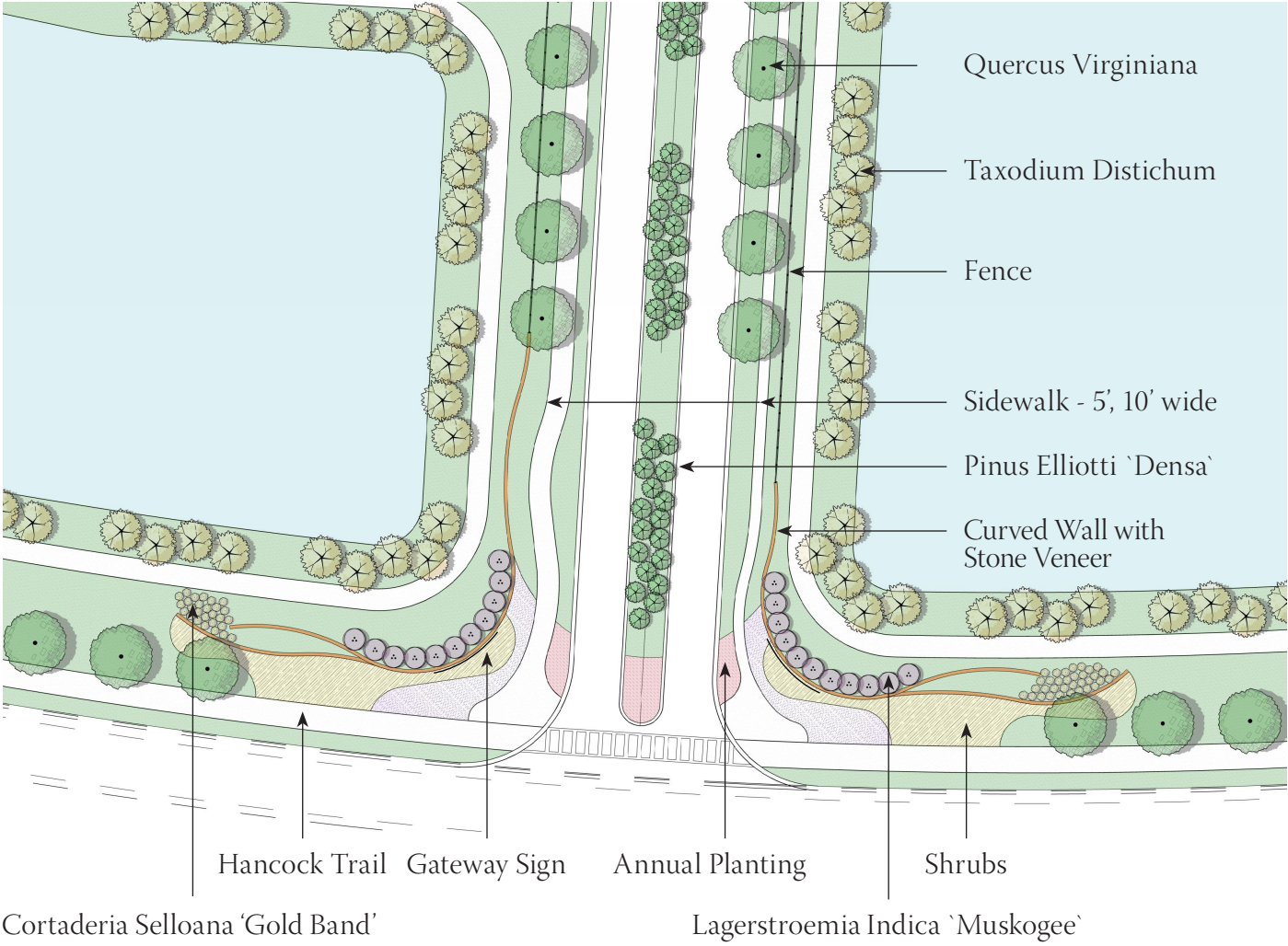


Signage and signs are potentially the first impression that a visitor may have of the Hills of Minneola. Therefore, setting a good impression that speaks to the vision and character of the development is a critical function of the overall sign program.

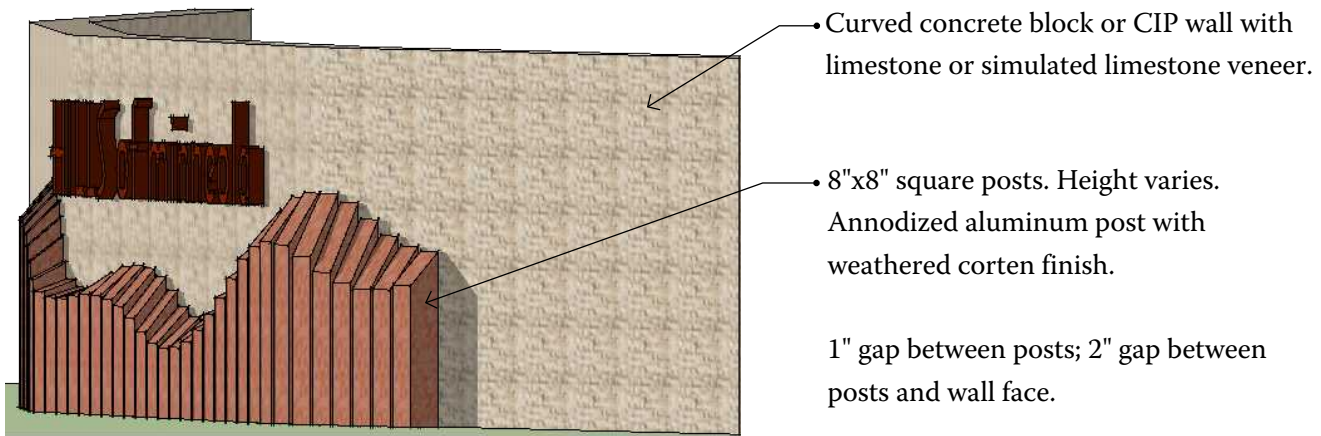
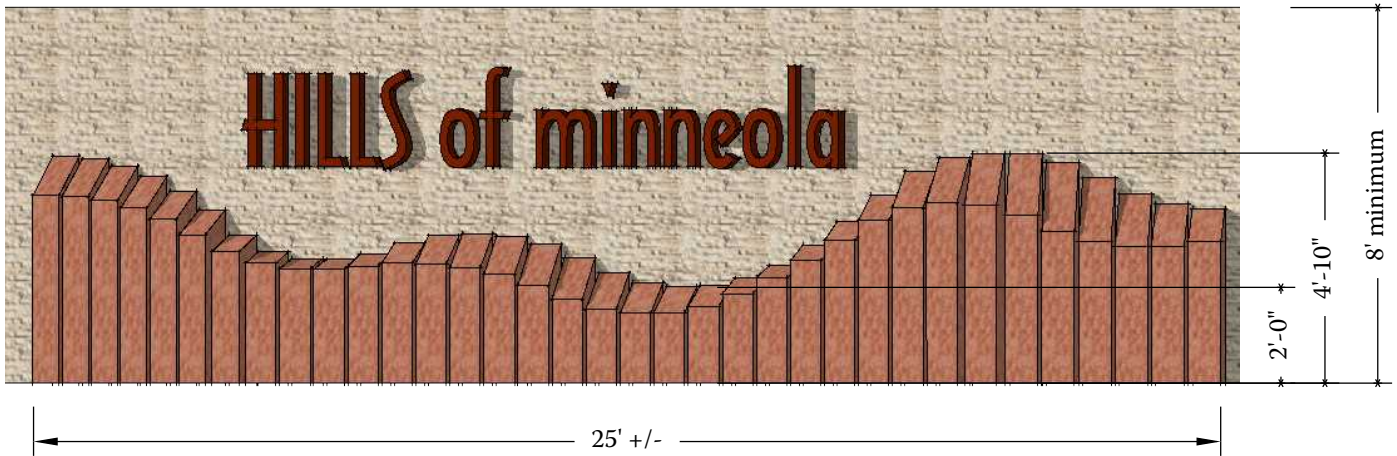
These guidelines provide a concept for the main sign program that identifies materials, sign wall elements, size guidelines and potential general locations. The hierarchy of Gateway Monuments, Neighborhood Identity and Parcel Identity are noted. In addition, concepts for these sign typologies have been created to guide future design efforts. Each sign location will be unique and it is anticipated that each sign opportunity will be designed as a stand alone sign to respond to its site conditions.

All sign designs will need to be approved by the ARC and should conform to existing City of Minneola sign regulations.

GATEWAY ENTRY CONCEPT

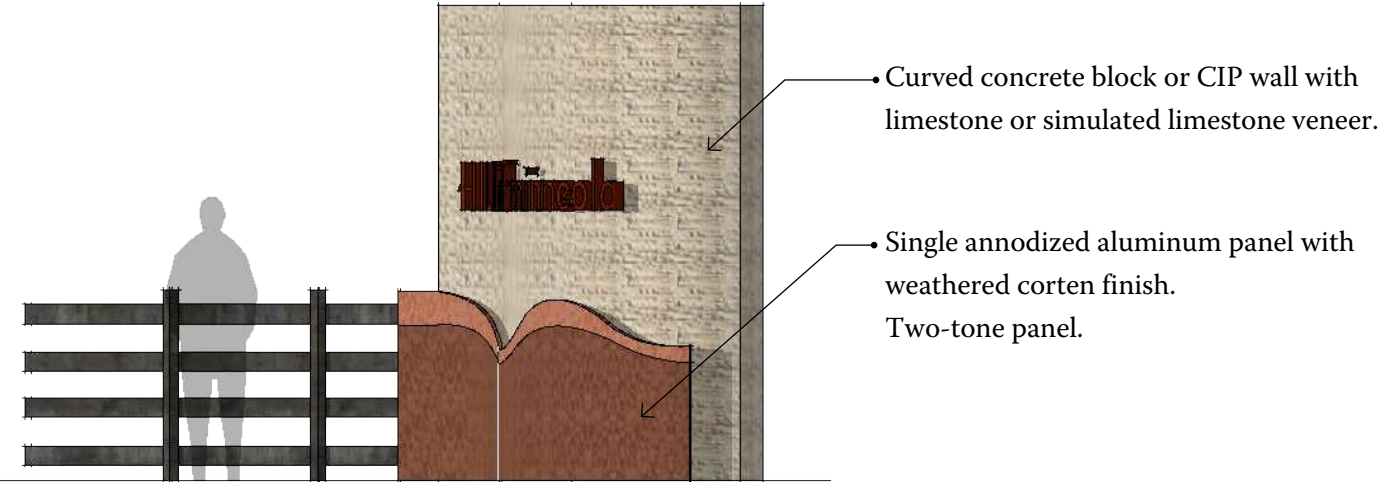
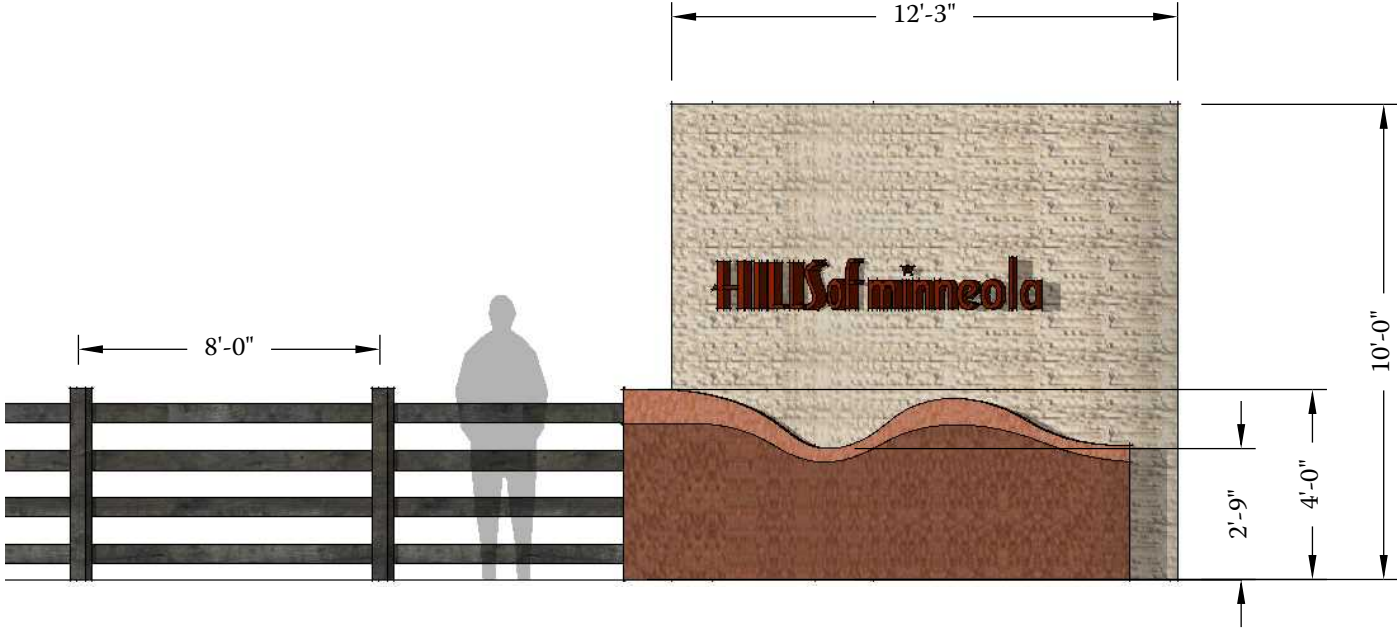


GATEWAY MONUMENT



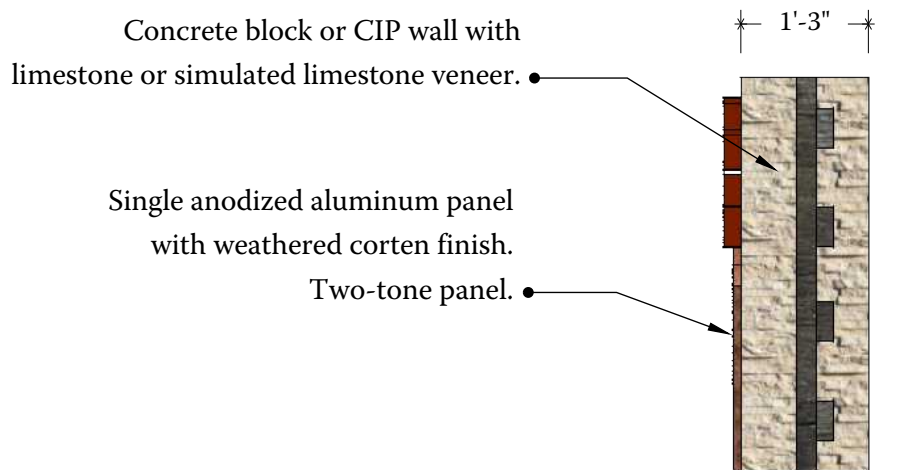
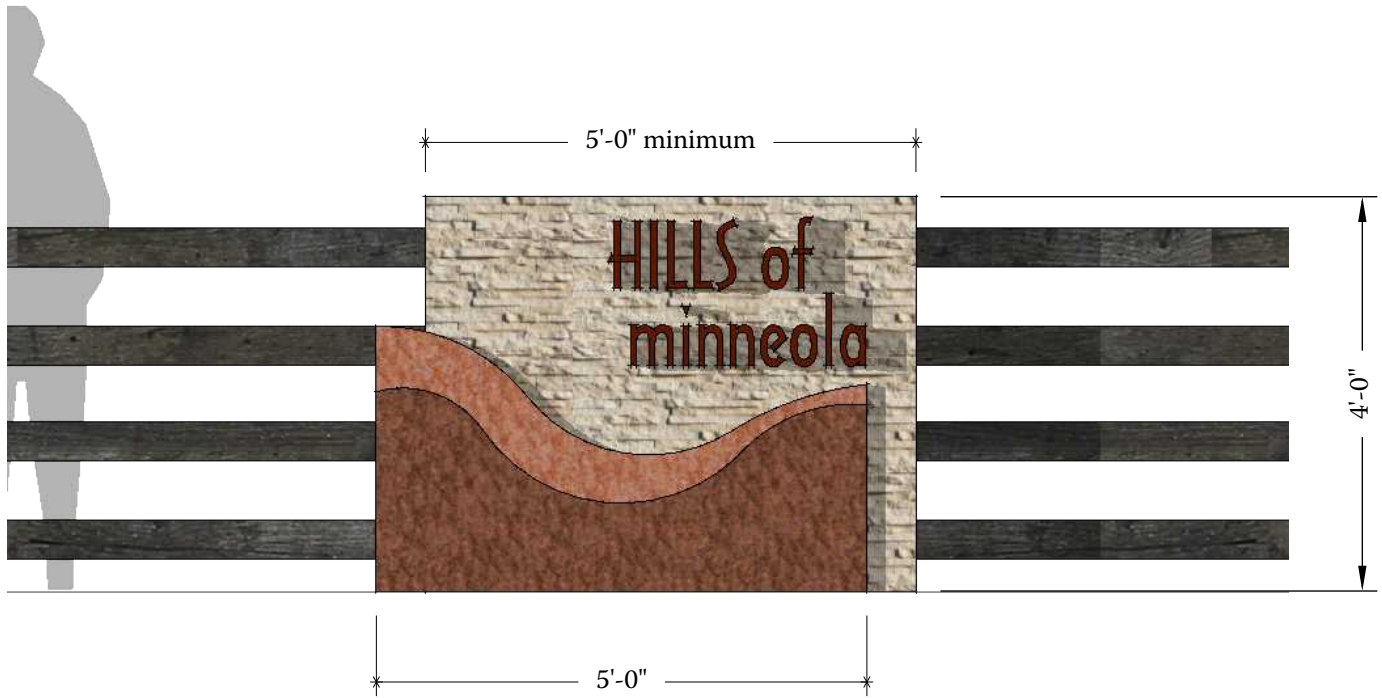
All dimensions are conceptual only.
Final sign designs to be approved by the ARC.

NEIGHBORHOOD IDENTITY



All dimensions are conceptual only.
 Final sign designs to be approved by the ARC.

PARCEL IDENTITY



All dimensions are conceptual only.
Final sign designs to be approved by the ARC.

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HILLS OF MINNEOLA
design guidelines